

TO: DEVELOPMENT REVIEW BOARD
FROM: CURRENT PLANNING SERVICES
SUBJECT: CASE 66-DR-2003

DATE: November 6, 2003

REQUEST: Approve site plan, landscape plan, & elevations for an office building at McDowell Mountain Ranch

PROJECT NAME: Offices at McDowell Mountain Ranch Parcel R

LOCATION: 16700 N Thompson Peak Parkway

DEVELOPER/OWNER: McDowell Mountain Ranch LLP
ARCHITECT/DESIGNER: City Spaces
ENGINEER: DRW Engineering
APPLICANT/COORDINATOR: City Spaces/Grant Call
3110 N 16th St
Phoenix, AZ 85016
602-266-7777

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

PUBLIC COMMENTS: The applicant has notified all property owners within 300 feet of the site by letter. A letter has been received from the Design Review Committee and the Board of Directors for the McDowell Mountain Ranch approving the project. Staff has received phone calls and letters from four neighbors (Robert Southerland, John Siavelis, Robert Ritchie, and Agus Lim) who live adjacent to the projects western property line. The four neighbors have indicated that the parking located along the western property line will affect the daily enjoyment of their homes due to noises ranging from people, automobile smells, and head lights because of the short distance to their units. The applicant/owner of the project and Robert Southerland, who was representing the other three neighbors' same concerns, met with Staff on October 4, 2003 to discuss the entire project including the parking issue. As a result of the meeting the applicant/owner offered up three additional stipulations to help create a better buffer between the western property line parking and the neighbors units. The stipulations include a 10 foot setback from the western property line, larger (3 inch caliber) trees to be planted every 20 feet with large growing shrubs between the trees in the setback, and raising the existing wall located on the property line to a minimum of 42 inches from the pavement to block head lights. The four neighbors have indicated that they appreciated the extra stipulations offered by the applicant /owner, but would like the head-on parking along their units removed.

REQUEST: The applicant seeks approval of site plan, landscape plan, and elevations for an office building, which has been broken up into smaller building components connected by second floor walkways.

LOCATION & ZONING: The site is located in the northwest corner of the McDowell Mountain Ranch master planned community. Located on the west side of Thompson Peak Parkway, this approximate 2-acre site and the other surrounding parcels make up a community level shopping center, offices, and higher multi-family residential density core planned for this community.

On the east side of Thompson Peak Parkway, within McDowell Mountain Ranch, there is an existing single-family residential district (R1-7 ESL) neighborhood. Two existing multi-family projects (condominiums), both zoned Service Residential district (S-R ESL) are located south and west of this site. North of this site, on the southwest corner of Bell Road and Thompson Peak Parkway, is a Planned Community Center district (PCC ESL) zoned parcel consisting of a shopping center.

CHARACTERISTICS: The vacant site consists of a wash along the east and southeast portions and a variety of natural vegetation.

HISTORY: On January 18, 2000, the City Council approved a site plan with case 74-ZN-92#8, which was part of the master plan for the area. The proposed site plan is in general conformance with the zoning stipulations of that case.

DISCUSSION: There were a variety of challenges with the property, including preserving the wash, providing landscaping along Thompson Peak Parkway, and being sensitive to both existing residential neighbors on the east and west sides of the site, that the applicant tried to address with the proposed site plan. The applicant placed the buildings in the middle of the site to be equidistance from both property lines and residents, preserved the wash, maintained a landscape area along Thompson Peak Parkway, and located the parking on the west portion of the property which helps screen it from the street. The past zoning case (74-ZN-92#8) stipulated the buildings to a maximum height of 30 feet, which the applicant has met. The applicant has indicated that no portion of the building will exceed 30 feet including all mechanical equipment and any other equipment or devices.

Access to the site comes from one driveway located along the private drive on the north side of the property. A sidewalk has been stipulated to be built along the private drive connecting the existing residential project to the west to Thompson Peak Parkway. Pedestrian connections have also been provided from the building entrances to that sidewalk. Sixty-three (63) parking spaces are required by the zoning ordinance; the applicant has provided 94 parking spaces on site.

The applicant has incorporated building elements and materials used in nearby commercial and residential projects in the area. The buildings have varied exterior wall planes that move horizontally and vertically, used both parapet walls with coping and pitched roofs for the roofing, and created shaded entries along the western facades. The design has also been broken into two smaller building components connected by a second floor walkway served by the centrally located elevator core. The exterior walls are composed of stucco accented with stone (Walnut Southern Ledge stone) accents at certain corners and at the entrances. Exterior window openings, composed of Dark

Bronze Insulated glazing, are recessed (13 inches along the southern and western facades) and framed with Bronze Anodized Aluminum.

Muted desert colors have been selected for the building and its architectural elements. The main body of the building will be painted tan (Taupewood) and the building trim brown (Coach House Brown). The metal handrails on the stairs and balconies, along with the metal roof, will be painted dark brown (Forest Black).

The landscape palette is a desert theme that is consistent with the McDowell Mountain Ranch palette. The palette will utilize salvaged and new trees including Blue Palo Verde, Sonoran Palo Verde, Ironwood, Arizona Native Mesquite, and a variety of cacti, shrubs, and groundcover.

KEY ISSUES: The applicant has made revisions to the original elevations submitted to the City, but Staff feels a couple more minor additions could be incorporated into the design.

These issues include:

1. Substantial amounts of unprotected south and western glazing (Scottsdale Sensitive Design Principle #10)
2. Stucco forms lack a defined base to anchor forms to ground plane (Scottsdale Sensitive Design Principle # 9)

RELATED CASES: 5-MP-1993, 5-MS-1993, 74-ZN-1992#8

Bill Verschuren
Senior Project Coordination Planner
480-312-7734

ATTACHMENTS:

- #1-Project Narrative
- #2-Context Aerial
- #2A-Aerial Close-Up
- #3-Zoning Map
- #4-Site Plan/Wall Details
- #5-Landscaping Plan
- #6-Elevations
- #7-Perspective
- #8-First Floor Plan
- #9-Second Floor Plan
- #10-Landscape Salvage Plan
- #11-McDowell Mountain Ranch approval letter
- #12-Neighborhood Involvement Report
- #13-Letters from adjacent homeowners
- A-Stipulations/Ordinance Requirements

The proposal is to sensibly and sensitively develop a two-story office project in an architectural vernacular similar to the adjoining residential and commercial properties within MMR. A preliminary site plan for the subject site was approved by the Scottsdale City Council in January 2000 as part of a larger zoning case and the subject proposal although in general conformity improves upon that original plan. The design team has sincerely attempted to be sensitive to surrounding residential areas and specifically the residents adjoining the property to the west. The proposal successfully addresses the following site planning challenges: placement of buildings as far away from the closest residential units west of the site; placing low activity areas nearest adjoining residential areas; maintaining a 50' landscape area along Thompson Peak Parkway; maintaining a large natural open space along the wash in the southern portion of the site; and maintaining the MMR preferred design approach of placing buildings along the street frontage and screening parking areas behind buildings and away from street frontages.

The building elements were gleaned from both residential and commercial projects within MMR and include the following: muted desert colors; varied exterior wall planes that move horizontally and vertically; varied roof treatments that include both parapet walls with coping and pitched roof sections at the building core; stone-faced battered building wall accents; metal railings and accents; and shaded walkways along the building's western entrances. The design has also been broken into two smaller building components connected by a second floor walkway served by the centrally located elevator core. Exterior window openings are minimized and recessed to provide solar shading and visual interest. Site lighting will be limited to the low-level bollard lighting used throughout the MMR pathway system. Landscaping will be consistent with the MMR desert plant palette.

**66-DR-2003
9-8-03**



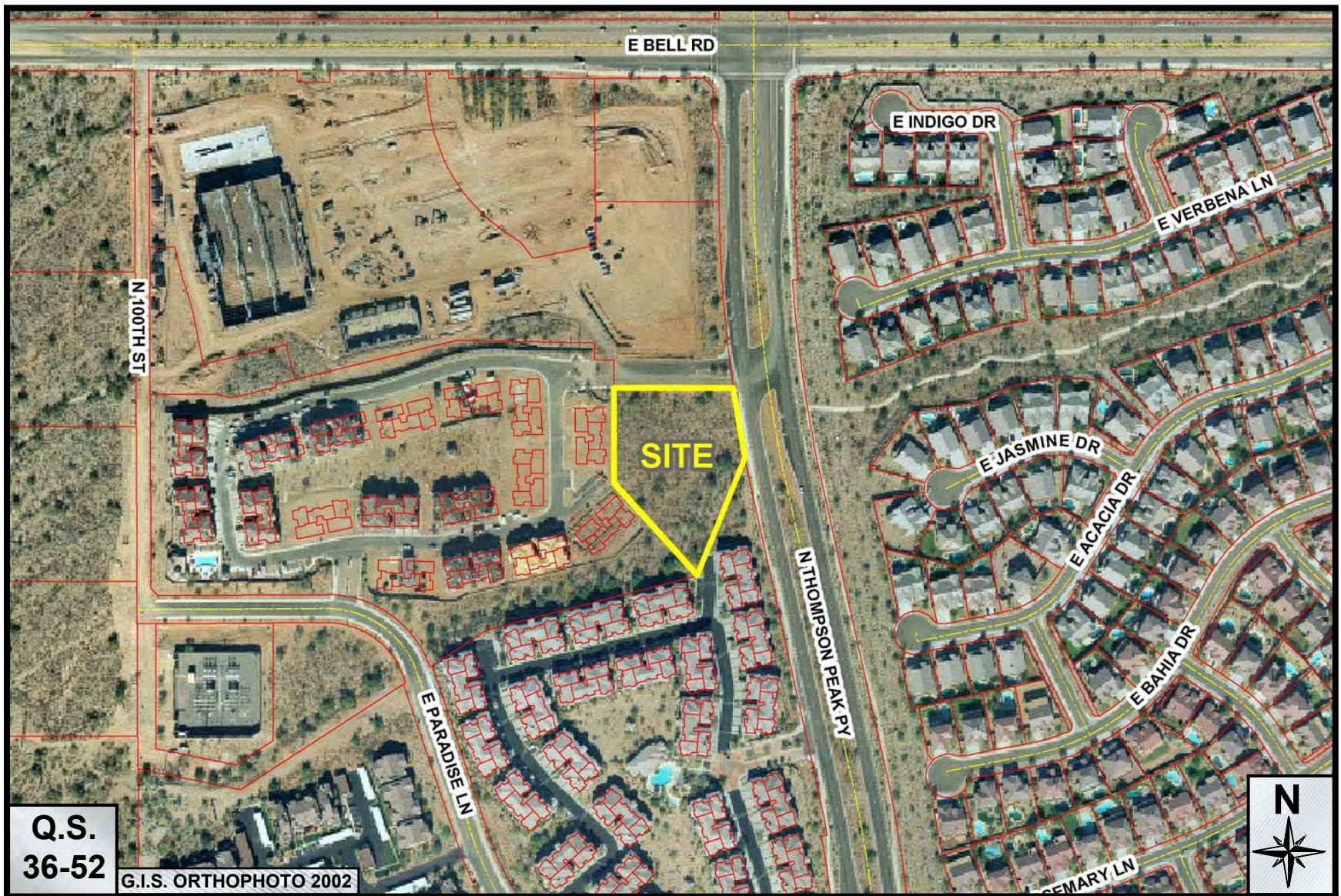
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G.I.S. ORTHOPHOTO 2002

Offices @ McDowell Mountain Ranch

66-DR-2003

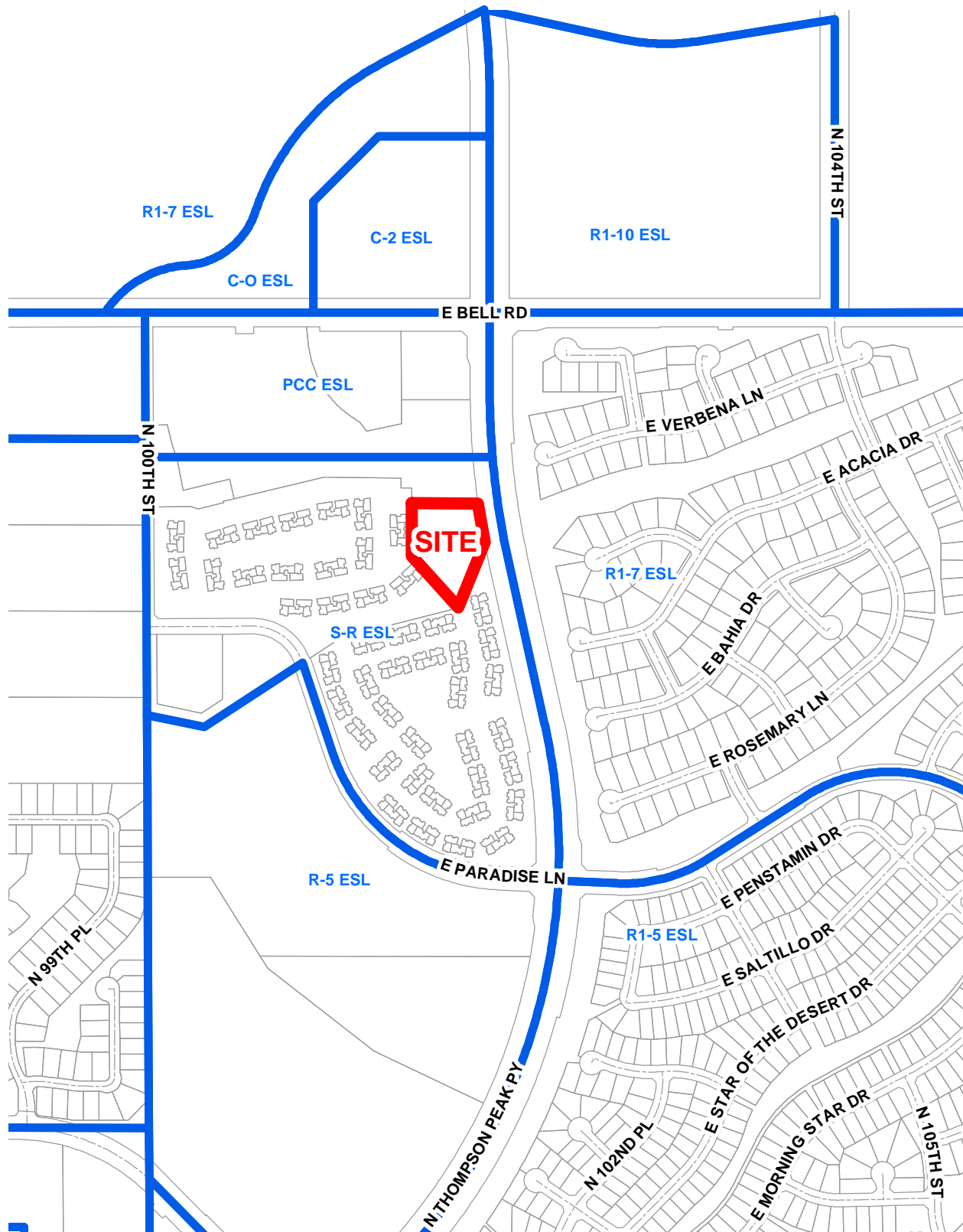
ATTACHMENT #2



Offices @ McDowell Mountain Ranch

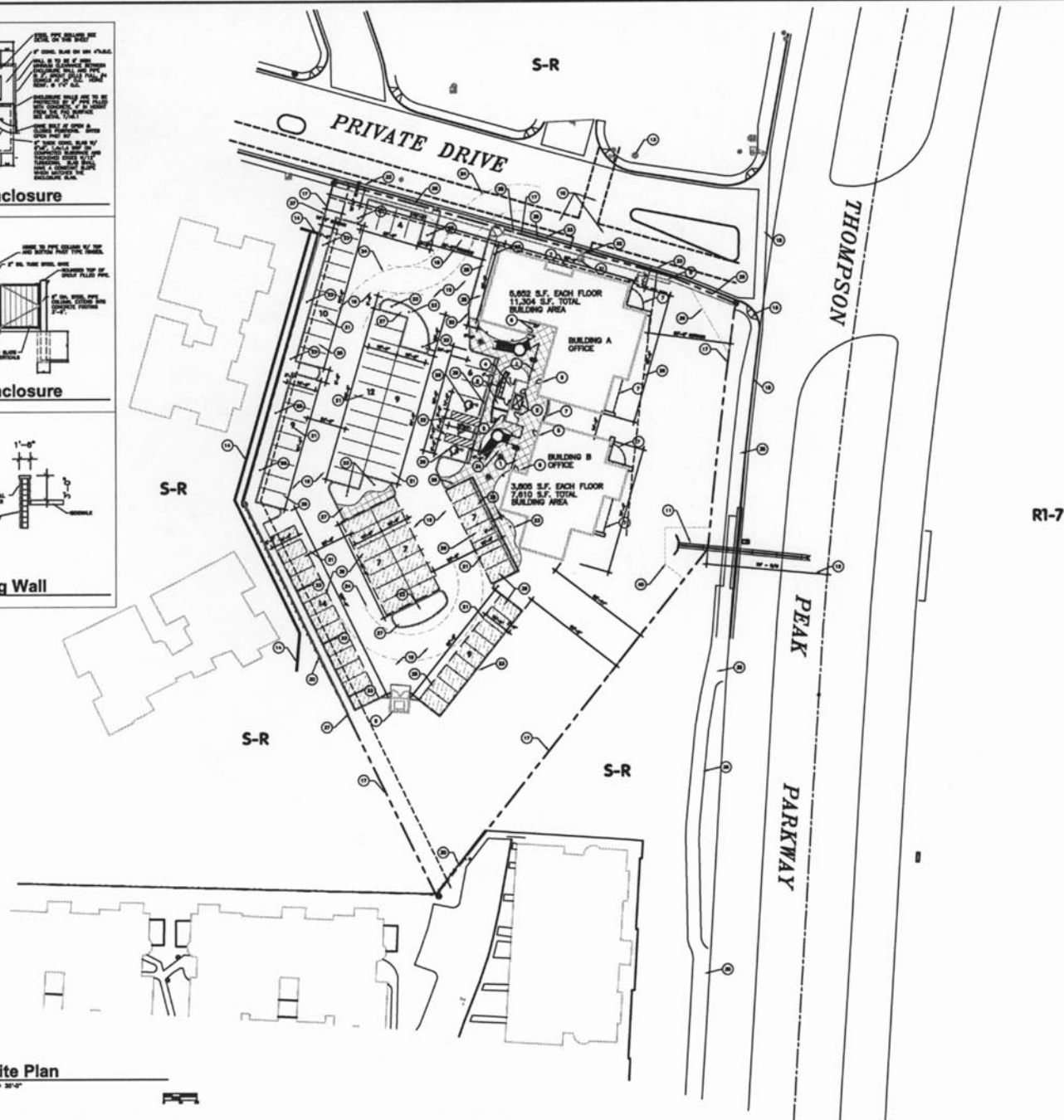
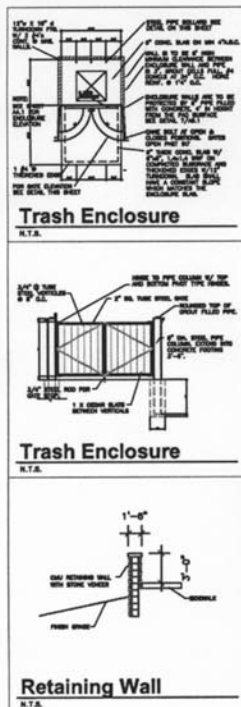
66-DR-2003

ATTACHMENT #2A



66-DR-2003
ATTACHMENT #3





Keynotes

1. 8'-0" COVERED WALKWAY.
2. ELEVATOR AND RESTROOMS.
3. FIRE RISER LOCATION.
4. SERVICE ENTRANCE SECTION LOCATION.
5. ELEVATOR EQUIPMENT ROOM.
6. PROPOSED BUILDING ENTRANCES/EXITS.
7. SECOND FLOOR BALCONY.
8. CMU RETAINING WALL WITH STUCCO FINISH. SEE DETAIL.
9. TRASH ENCLOSURE. SEE DETAILS.
10. EXISTING WATER LINE EASEMENT.
11. EXISTING 24" CONCRETE PIPE.
12. 75' RIGHTS-OF-WAY.
13. EXISTING FIRE HYDRANT.
14. EXISTING RETAINING WALL.
15. EXISTING CONCRETE CURB AND GUTTER.
16. EXISTING ACCESSIBLE CONCRETE RAMP AT INTERSECTION.
17. PROPERTY LINE.
18. CONCRETE DRIVEWAY.
19. ASPHALT PAVING AT PARKING AND VEHICLE CIRCULATION AREAS.
20. 6" CONCRETE CURB.
21. STANDARD PARKING STALL WITH 4" PAINTED WHITE STRIPES.
22. PAINTED ACCESSIBLE ROUTE.
23. SITE LIGHTING.
24. 30' MINIMUM WIDE FIRE LAKE WITH 2'-0" OVERHANG.
25. PARKING SPACE: 9'-0" WIDE WITH 2'-0" OVERHANG.
26. HANDICAPPED PARKING WITH PAVEMENT MARKING AND POLE SIGNAGE.
27. LANDSCAPE ISLAND OR AREA.
28. 50' FRONTAGE RETRACTION.
29. ACCESSIBLE ROUTE TO F.O.W. FROM BUILDING EXITS/ENTRANCES.
30. EXISTING WROUGHT IRON FENCE.
31. EXISTING WATER METER.
32. EXISTING WATER VALVE.
33. PROPOSED CONCRETE CURB AND GUTTER.
34. 8 BICYCLE PARKING SPACES.
35. 8' WIDE SIDEWALK.
36. BIGHT VISIBILITY TRIANGLE.
37. 3'-0" SCREEN WALL.
38. ACCESSIBLE PARKING AND ACCESSIBLE ROUTE SURFACE SHALL BE FLUSH WITH SIDEWALK SURFACE. SLOPE OF ACCESSIBLE PARKING AND ACCESSIBLE ROUTE TO SIDEWALK SHALL NOT EXCEED 1:50.
39. COVERED PARKING.
40. DRAINAGE EASEMENT. SEE CIVIL PLAN FOR EXACT LOCATION.

Project Information

EXISTING ZONING ON SITE: S-R
PROPOSED ZONING ON SITE: S-R
ZONING CASE NUMBER: 4933-PA-0049

GROSS FLOOR AREA: BUILDING A = 11,304 SQ. FT.
 BUILDING B = 7,810 SQ. FT.
 RESTROOM & ELEVATOR = 685 SQ. FT.
 TOTAL = 19,800 SQ. FT.

NET FLOOR AREA: 18,000 SQ. FT.

OPEN SPACE CALCULATIONS:
REQUIRED OPEN SPACE:
 24% X NET LOT AREA
 24 X 78,880 SQ. FT. = 18,123 SQ. FT.
OPEN SPACE PROVIDED (NOT INCLUDING LOT LANDSCAPING):
 18,123 SQ. FT. (24 %)
OPEN SPACE PROVIDED: 18,123 SQ. FT.
SITE ACREAGE: GROSS = 85,888 SQ. FT. (2.00 AC.)
 NET = 78,880 SQ. FT. (1.80 AC.)

PARKING CALCULATIONS: 1 PER 300 S.F. (EXCLUDE STORAGE & RESTROOMS)
REQUIRED PARKING SPACES:
 18,000 S.F. / 300 = 60.0 SPACES, PLUS 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.
PROVIDED PARKING SPACES:
 64 SPACES, INCLUDING 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.
REQUIRED BICYCLE PARKING:
 1 BICYCLE SPACE PER 15 REQUIRED VEHICULAR PARKING SPACES.
 60.0 / 15 = 4 REQUIRED BICYCLE PARKING SPACES.
PROVIDED BICYCLE PARKING:
 8 BICYCLE PARKING SPACES.



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Revisions
1
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Offices @
McDowell Mountain
 Scottsdale, AZ
 10.8.03
PHX-512

A1.1

Site Plan



LANDSCAPE SCHEDULE

Botanical / Common Name	Size	Quantity	Remarks
REVEGETATION PLANT MATERIAL			
TREES			
CARDESSA gigantea Saguaro	4/25/10	9	Spikes Only Purchase & Material per Arizona Law
TRANSPLANTED SPECIMEN Saguaro	Varies	See Plan	Refer to Native Plant Inventory
CERCOCARPUS floridanus Blue Palo Verde	150/24" Box	15	7H x 4W x 2.0' Cal. (Min.)
CECIDIUM praeceus Sonoran Palo Verde - Standard	150/24" Box	7	7H x 4W x 2.0' Cal. (Min.)
QUINCYA tomentosa Ironwood	24" Box	7	7H x 4W x 2.0' Cal. (Min.)
PROSOPIA juliflora Arizona Yucca Mesquite	150/24" Box	24	7H x 4W x 2.0' Cal. (Min.)
SOYOTA acuminata Texas Mountain Laurel	24" Box	5	6H x 4W x 1.0' Cal. (Min.)
ACACIA greggii Conecrista Wattle	24" Box	3	6H x 4W x 1.0' Cal. (Min.)

REVEGETATION AREA: TRANSPLANTED NATIVE TREES, SHRUBS & CACTI. SHRUBS & CACTI TO BE PER ZONING ORDINANCE 10.501.A, where Distance between Plants or Plant Canopies (CONTAINER PLANTS) cannot exceed 7' in any one direction. HYDROSEED WITH SEED NATIVE TO THE SONORAN DESERT and material on the E.S.L.O. PLANT LIST.

TRANSPLANTED NATIVE TREES & CACTI
SEE NATIVE PLANT INVENTORY PLAN

N.A.O.S. / NATURAL AREA OPEN SPACE
PROTECT FROM CONSTRUCTION per
City of Scottsdale N.A.O.S. Ordinance.

SAGUAROS TRANSPLANTED
FROM SITE

SHRUBS / ACCENTS			
AMORPHOSA arborescens Triangle Leaf Borage	5 Gal.	5	As Shown
AGAVE americana Twin Flowered Agave	5 Gal.	5	As Shown
AGAVE viviparosa Octopus Agave	5 Gal.	5	As Shown
AGAVE desertiana Agave desertiana	5 Gal.	8	2-1/2' O.C.
BALFOURIA multiflora Deer's Marigold	1 Gal.	80	2' O.C.
CALLISTOCHLOA setacea Phil Filly Cluster	1 Gal.	26	4' O.C.
CRYSANTHEMUM occidentale Clematis	1 Gal.	91	2-1/2' O.C.
DASYLIRION acrotriche Green Desert Spoon	5 Gal.	8	
DALEA frutescens "Sierra Negra" Black Dalea	5 Gal.	12	3-1/2' O.C.
ECHINOCACTUS griseus Native Desert Cactus (Fainting)	5 Gal.	1	
ENCINIA farinosa Green Devil's Bush	5 Gal.	52	4' O.C.
BULBINE frutescens Shrubby Bulbine	5 Gal.	10	
OCOTILLO splendens Ocotillo	5 Gal.	54	As Shown
LANTANA camara "Gold Mount" Gold Mount Lantana	5 Gal.	17	3-1/2' O.C.
LARREA tridentata Greenside Bush	5 Gal.	07	5' O.C.
OPUNTIA santa-rita "Tubac" Santa Rita Prickly Pear "Tubac"	5 Gal.	17	As Shown
OPUNTIA basilaris Teddy Bear Cholla	5 Gal.	45	*Container size irrelevant 2' high w/10 arms min.
PERISTEMON salsola Firecracker Penstemon	1 Gal.	32	
EREMOPHILA sp. Valentine	5 Gal.	75	4' O.C.
LEUCOPHYLLUM lanigatum Ochotilla Sage	5 Gal.	413	4' O.C.
RUELLIA portulacariae Desert Rue	5 Gal.	39	3' O.C.
RUELLIA brittaniana Blue Rue	5 Gal.	115	4' O.C.
RUELLIA brittaniana "Karl" Karl's Rue	5 Gal.	44	3' O.C.
SALVIA greggii Autumn Sage	5 Gal.	16	3' O.C.
HYMENOCYCLUS aculeatus Angelita Daisy	1 Gal.	348	2' O.C.
ZEPHYRANTHERA candida White Rain Lily	1 Gal.	27	2-1/2' O.C.
MISC.			
DECOMPOSED GRANITE 1/4" minus APACHE BROWN Decomposed Granite	---	2" deep, All Planting Areas	
GRANITE BOLLERS Surface Select Bollers	15' x 15' x 3"	15' x 15' x 3"	15' x 15' x 3"

* ALL THESE PLANTS TO BE LOCATED OUT OF REVEGETATION AREAS & OUT OF RIGHT
FROM STREET RIGHT OF WAYS.

SCOTTSDALE LANDSCAPE NOTES:

COLORFUL, DROUGHT-TOLERANT PLANT MATERIAL from DWR PLANT LIST TO BE USED IN ALL STREET FRONTAGES.

ALL LANDSCAPE AREAS TO BE WATERED WITH AN AUTOMATED UNDERGROUND IRRIGATION SYSTEM. PLANTING BEDS TO BE WATERED W/ DRIP IRRIGATION.

TREES, SHRUBS, & EDGE OF GROUND COVER SHALL NOT EXCEED 7'-0" IN ANY ONE DIRECTION.

A MINIMUM OF 50% OF THE REQUIRED TREES SHALL BE MATURE (24" BOX).

SALVAGED TREES & CACTUS TO BE TRANSPLANTED BACK ONTO THE SITE. REVEGETATED AREAS MUST COMPLY WITH THE ZONING ORDINANCE (10.501A)

ALL PLANTED & REVEGETATED areas shall be covered with the natural salvage desert soil with all ESLO areas viewable from Public Street right of Ways.

Thompson Peak

OFFICES

Scottsdale, Arizona

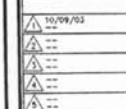
MAINTENANCE NOTE

ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. MAINTENANCE FOR THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



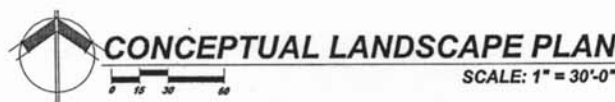
Principle:
Dustin Curtis
dustin@cityspaces.net

Project Manager:
Grant Call
gcall@cityspaces.net



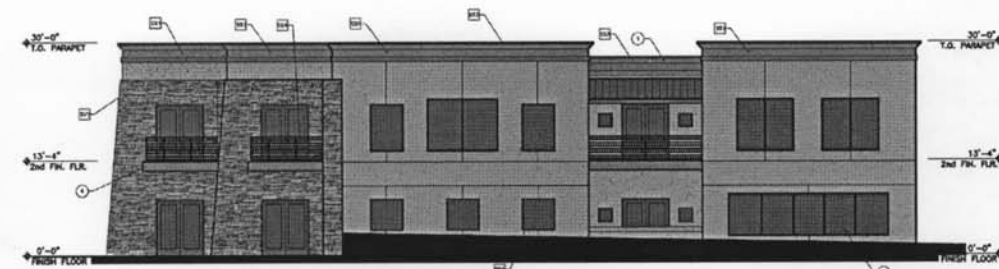
Thompson Peak
Offices
Scottsdale, Arizona
10/09/03

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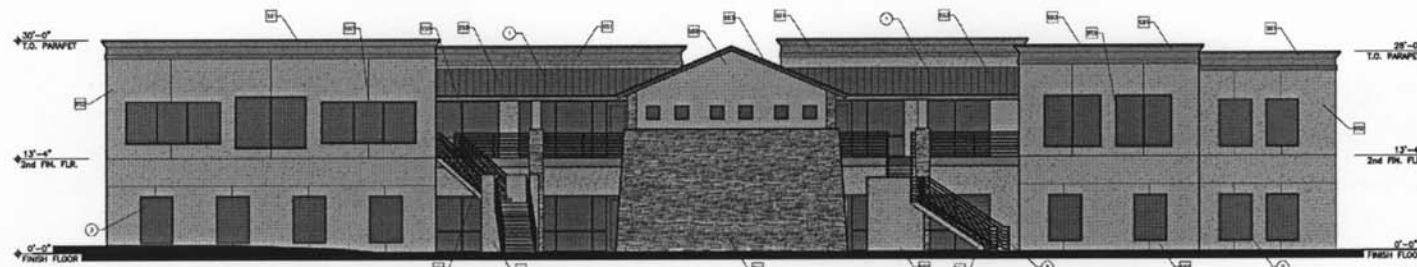




EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Finish Legend

SS-1	ENVIRONMENTAL STUCCO SYSTEM 12.5" RAIN COLORED BRICK - BROWN 200118 - COLORED HOUSE BROWN
SS-2	ENVIRONMENTAL STUCCO SYSTEM 12.5" RAIN COLORED BRICK - BROWN 200118 - COLORED HOUSE BROWN
SS-3	STONE VENEER - RANDOM SOUTHERN LOGGERS (200118) STONE PRODUCTS CORPORATION - NAPL, CA
SS-4	METAL ROOF AND FLASHING KORADY INC. 12" GUT STANDING SEAM ROOF - WEATHERED COPPER
SS-5	TUBE STEEL HAND RAILING 12.5" RAIN COLORED BRICK - BROWN 200118 - COLORED HOUSE BROWN
SS-6	DOORS, DOOR FRAMES, AND WINDOW FRAMES WESTERN INTERMEDIATE MATERIALS - BROWN 200118

Keynotes

1. STANDING SEAM METAL ROOF PANELS
2. TUBE STEEL HANDRAIL
3. ALUMINUM FRAME WINDOW WITH BRONZE TINTED GLAZING
4. METAL FASCIA - COLOR TO MATCH SS-1



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Project Manager:
James Farrell
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Scale
1/8" = 1'-0"
1'-0" 10'-0"

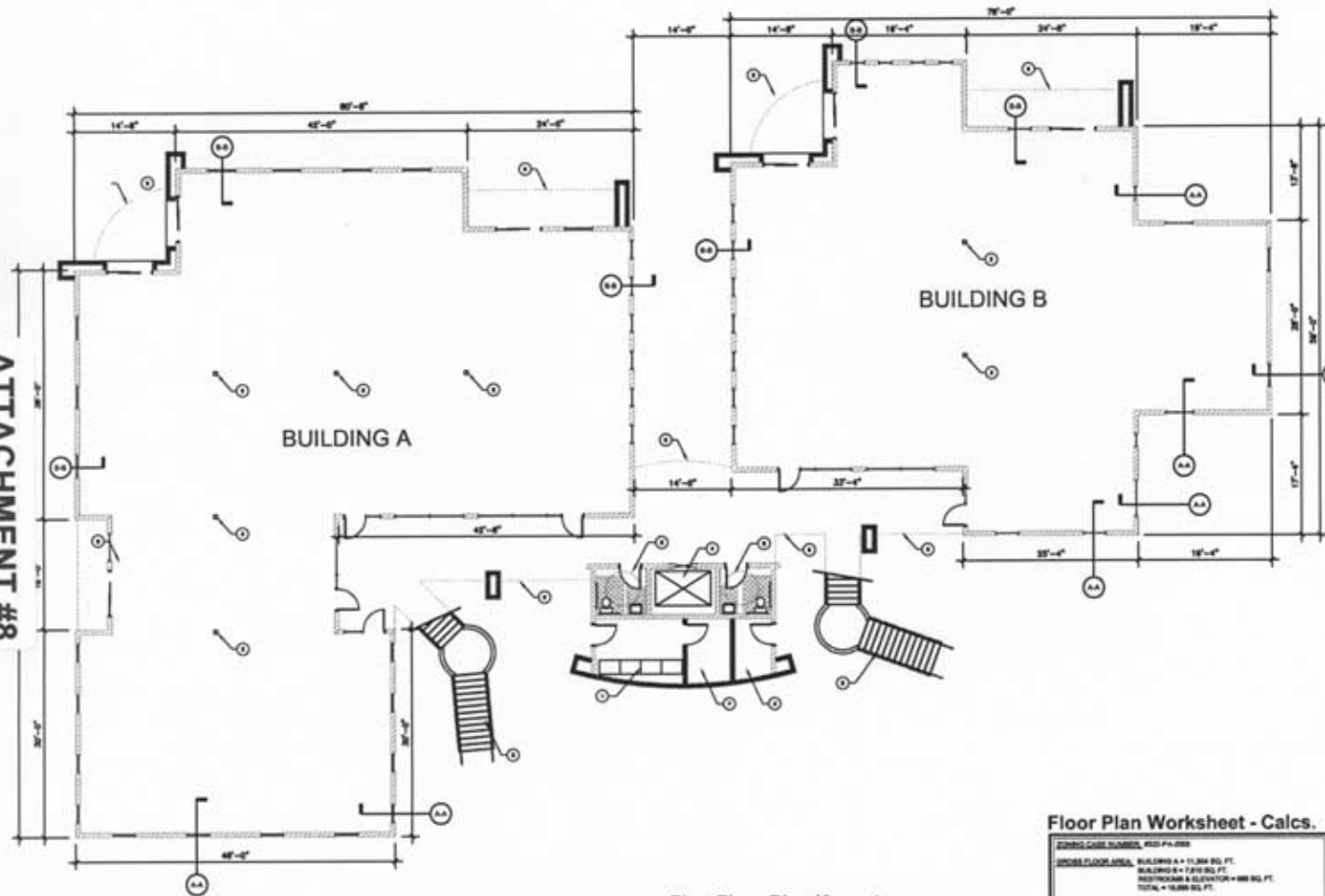


PERSPECTIVE

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Mountain
Scottsdale, AZ
9.04.03
PHX-512



BUILDING A

BUILDING B

First Floor Plan Keynotes

1. SEE LOCATION
2. WITH TUB COLUMN
3. FIRE RISK ROOM
4. ELEVATOR
5. STAIRS
6. SECOND FLOOR BALCONY ABOVE
7. ELEVATOR EQUIPMENT ROOM
8. RESTROOM

Floor Plan Worksheet - Calcs.

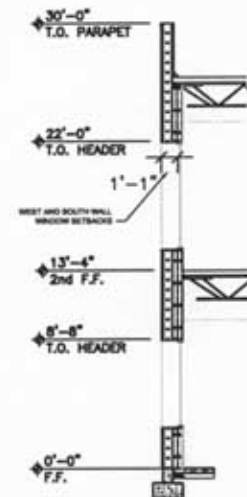
SCHEDULE CASE NUMBER: 1000 PA-1000

GROUND FLOOR AREA: BUILDING A = 11,000 SQ. FT.
 BUILDING B = 7,000 SQ. FT.
 RESTROOM & ELEVATOR = 800 SQ. FT.
 TOTAL = 18,800 SQ. FT.

NET FLOOR AREA: 18,800 SQ. FT.

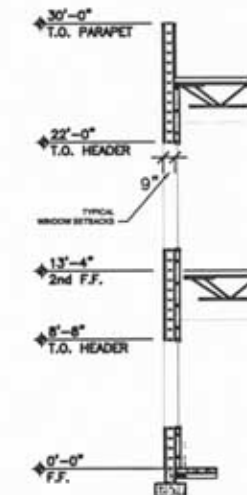
PARKING CALCULATIONS: 1 PER 300 S.F. VEHICLE STORAGE & RESTROOMS

REQUIRED PARKING SPACES:
 18,800 S.F. / 300 = 62.7 SPACES, PLUS 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.
 PROVIDED PARKING SPACES:
 64 SPACES, INCLUDING 1 VAN ACCESSIBLE AND 2 ACCESSIBLE SPACES.
 REQUIRED BICYCLE PARKING:
 1 BICYCLE SPACE PER 15 REQUIRED VEHICLE PARKING SPACES.
 64 / 15 = 4.27 REQUIRED BICYCLE PARKING SPACES.
 PROVIDED BICYCLE PARKING:
 8 BICYCLE PARKING SPACES.



Section A-A

14' x 7'0"



Section B-B

14' x 7'0"

First Floor Plan
14' x 7'0"

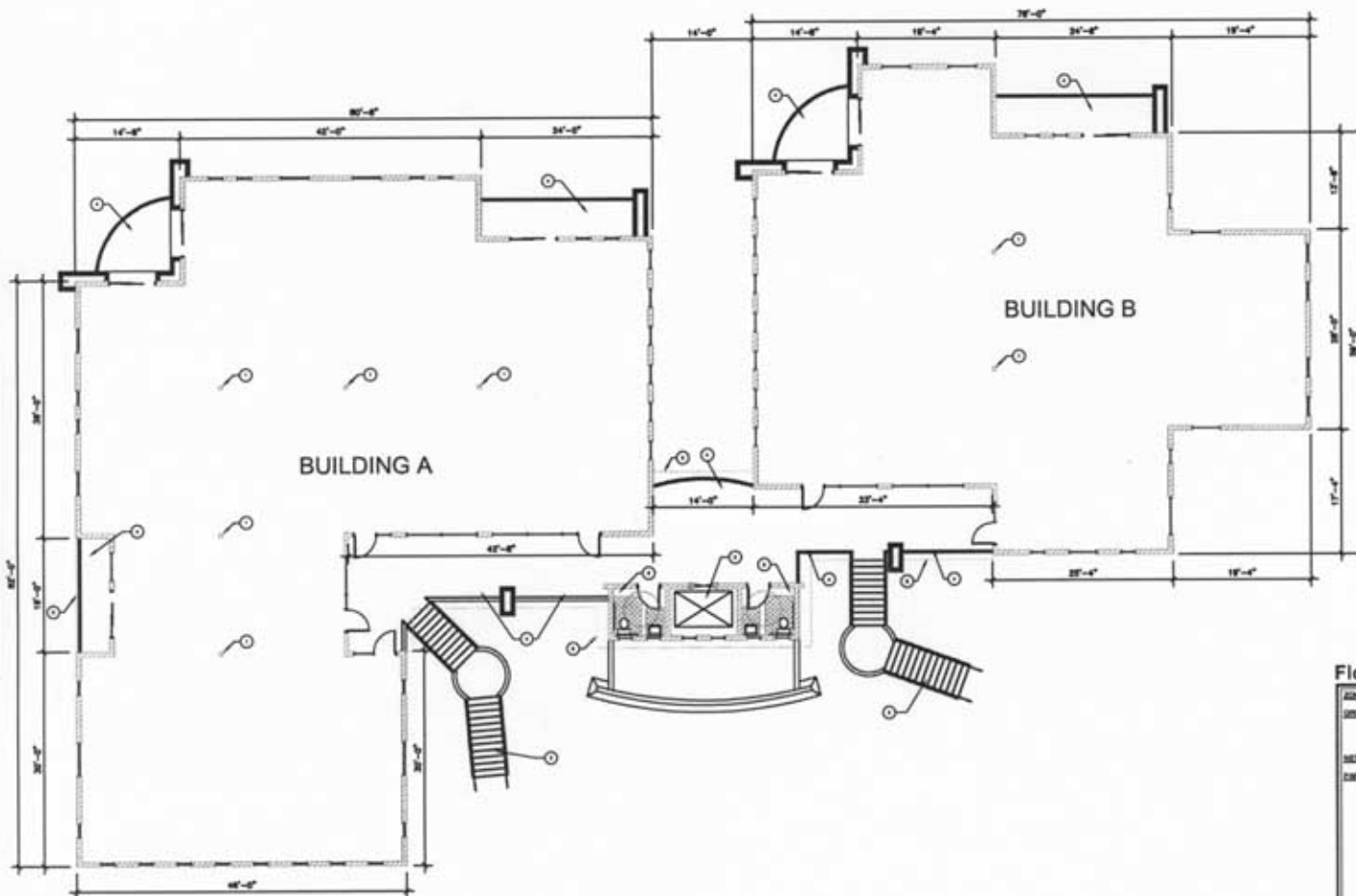
Principal:
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 gcall@cityspaces.net
 Project Manager:
 James Farrell
 jfarrell@cityspaces.net

Revisions
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 McDowell
 Mountain
 Scottsdale, AZ
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 PHX-512

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First Floor Plan



Second Floor Plan Keynotes

1. METAL TUBE COLUMN
2. ELEVATOR
3. STAIR
4. BALCONY WITH RAILING
5. RESTROOM
6. COVERED WALK

Floor Plan Worksheet - Calcs.

APPROXIMATE SQUARE FOOTAGE

GROSS FLOOR AREA: BUILDING A = 11,000 SQ. FT.
BUILDING B = 7,000 SQ. FT.
RESTROOM & ELEVATOR = 500 SQ. FT.
TOTAL = 18,500 SQ. FT.

NET FLOOR AREA: 16,000 SQ. FT.

COVERED CALCULATIONS: 1 PER 300 S.F. (EXCLUDE STORAGE & RESTROOMS)

REQUIRED PARKING SPACES:
18,500 S.F. / 300 = 61.7 SPACES, PLUS 1 VAN
ACCESSIBLE AND 1 ACCESSIBLE SPACE.

PROVIDED PARKING SPACES:
60 SPACES, INCLUDING 1 VAN
ACCESSIBLE AND 1 ACCESSIBLE SPACE.

REQUIRED BICYCLE PARKING:
1 BICYCLE SPACE PER 10 REQUIRED VEHICULAR PARKING
SPACES.
60 / 10 = 6 REQUIRED BICYCLE PARKING SPACES.

PROVIDED BICYCLE PARKING:
6 BICYCLE PARKING SPACES.



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Project Manager:
James Farrell
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Revisions

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3	
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6	

Offices @
McDowell
Mountain
Scottsdale, AZ
10.8.03
PHX-512

A2.2

Second Floor Plan



of -
INVENTORY/
SALVAGE PLAN

McDowell Mountain Ranch Community Association
16116 North McDowell Mountain Ranch Road
Scottsdale, AZ 85255
Telephone: 480.473.0877 Fax: 480.473.3172

October 16, 2003

Pinnacle Commercial Real Estate, LLC
Donald G. Heinonen, II
8707 East Vista Bonita Drive, #230
Scottsdale, AZ 85255

Re: Commercial project / Office Building
16700 N. Thompson Peak Parkway

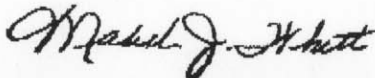
Dear Mr. Heinonen,

The Design Review Committee and the Board of Directors for McDowell Mountain Ranch have reviewed and **APPROVED** the above listed application.

This approval is subject to all City, State and Federal permits, codes, statutes, laws, rules and regulations, which are the sole responsibility of the owner. This approval shall not be deemed a warranty or representation as to the quality of construction, installation, addition, alteration, repair, change or other work. Please remember that any change, deletion or addition to the plans and specifications must be approved in writing by the Design Review Committee.

Should you have any questions, please feel free to call the above number. We thank you for your patience with this process.

Sincerely,



Mabel J. Whitt, Community Standards Administrator
McDowell Mountain Ranch Community Association

**Offices @ McDowell Mountain Ranch Parcel R
66-DR-2003**

Attachment #12 - Neighborhood Involvement Report
Attachment #13 - Letters from Adjacent Homeowners

**The above attachments are on file at the City
of Scottsdale Current Planning office,
7447 E Indian School Road, Suite 105.**

**Stipulations for Case:
Offices @ McDowell Mountain Ranch
66-DR-2003**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by City Spaces with a date of 10/15/03 provide on the plans by City Staff.
 - b. Architectural elements, including dimensions, and window recess shall be constructed to be consistent with the building sections submitted by City Spaces with a plan date of 10/8/03 and a page number of A2.1.
 - c. The location and configuration of all site improvements and retaining wall shall be constructed to be consistent with the site plan submitted by City Spaces with a plan date of 10/8/03.
 - d. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Land Group Landscape Architects with a plan date of 10/9/03.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
4. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
5. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
6. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
7. All walls shall match the architectural color, materials and finish of the building(s).
8. The carport design shall return to the Project Coordinator for a formal staff approval.
9. Carports shall not be erected between the west property line and the buildings to the east. Carports shall be permitted between the southwest property line and Building B.

10. All exterior doors shall be recessed a minimum of thirty (30) percent of the wall depth. The amount of recess shall be measured from the face of the exterior wall to face of glazing, exclusive of external detailing.

Ordinance

- A. The applicant shall provide the Project Coordinator with the Light Reflective Values (LRV) of all proposed colors and receive staff approval prior to the final plans submittal. All proposed colors shall comply with the Environmentally Sensitive Land Ordinance's (adopted in 1991) light reflective value requirements.

SITE DESIGN:**DRB Stipulations**

11. The developer shall provide a minimum of a 10-foot landscape buffer between the west property line and the parking lot east of the west property line. (Stipulation offered to the adjacent neighbors)
12. The developer shall provide a solid wall along the west and southwest property line that is a minimum of 42-inch in height measured from the top of the pavement of adjacent parking stalls to the top the wall. The developer shall obtain all necessary approvals and a temporary construction easement from the Ridge by Cachet Homeowner's Association (the development directly to the west) prior to the final plans submittal, if the final site design requires the exist Ridge by Cachet wall to be modified. Copy of these approvals shall be submitted with the Improvement plan submittal. If the developer is not able to receive the indicated approvals from the Ridge by Cachet Homeowner's Association, the developer shall return to the Development Review Board for a re-approval of development and screening mitigation. (Stipulation offered to the adjacent neighbors)

Ordinance

- B. Where a sidewalk is provided in front of parking stalls that have a 2-foot parking over hang, a minimum of a 5-foot sidewalk shall be provided.
- C. The carports shall be setback from the property line and away from the buildings as required by the current version of the City of Scottsdale's adopted building code.

OPEN SPACE:**Ordinance**

- D. The developer shall revise the open space plan to exclude the 2-foot parking stall over hang.

N.A.O.S.:**DRB Stipulations**

- E. NAOS shall not be dedicated within 5'-0" of a building.
- F. NAOS located between 5'-0" and 10'-0" from the face of a building shall be counted as revegetated NAOS for length of the building.

Ordinance

- G. Rip Rap and the culvert shall not be counted or included in the dedication of the NAOS
- H. The dedicate NAOS shall not exceed a ratio of 70% natural NAOS and 30% revegetated NAOS.

LANDSCAPE DESIGN:**DRB Stipulations**

13. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.

14. All decomposed granite shall be ¼" minus and shall match the adjacent natural desert color.
15. Boulders that are proposed in the NAOS shall be located to appear as naturally occurring rock formations.
16. The developer shall provide trees that meet the City of Scottsdale requirements for native plant salvage, or new indigenous trees that have a minimum 3-inch caliber size for single trunk or 1 ½ -inch average multi-trunk along the west property line at a rate of one tree every 20-feet.
- 17. The developer shall provide shrubs, a minimum of 5 gallons size, along the west property between the trees. The shrubs shall have a mature growth height of a minimum of 3-feet, and shall be placed so that they provide a solid hedge upon plant maturity. (Stipulation offered to the adjacent neighbors)**

Ordinance

- I. 50-percent of the trees shall mature as defined by the Zoning Ordinance, minimum of 2 ½-inch caliper single or 1 ½" multi-trunk trees.
- J. All non-indigenous plants shall be limited the enclosed areas, shall not exceed a height of 20-feet, and shall not visible from the right-of-way, or from off site.
- K. All plant material in the right-of-way shall be selected from the ESLO indigenous plant list; the selected must also be on the Arizona Department of Water Resource Plant List for the Phoenix Active Management Area.

EXTERIOR LIGHTING DESIGN:

DRB Stipulations

18. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
19. The individual exterior luminarie lamp shall not exceed 250 watts.
20. All exterior HID lamps shall be High Pressure Sodium.
21. All exterior non-HID lamps shall be incandescent lamps or equivalent compact fluorescent.
22. There shall be no pole-mounted lighting.
23. All exterior fixtures and bollards shall be a flat black or dark bronze.
24. No lighting shall be permitted in dedicated NAOS easements, Vista Corridor easements.
25. The applicant shall provide a pre- and post- exterior lighting curfew plan. Pre-curfew shall be defined as dusk to 10 PM and post-curfew shall be defined as 10 PM to dawn. Post-curfew hours may be extended during special events.
26. A programmable timer with a manual over-ride shall control all exterior lighting. The manual over-ride shall have a timer that turns off all post-curfew lights once the over-ride has been activated after 30 minutes.
27. Incorporate into the project's design, the following:
 - Parking Lot and Site Lighting:
 - a. The maintained average horizontal illuminance level, at grade on the site, not including the gasoline canopy area, shall not exceed 1.5 foot-candles.
 - b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 6.0 foot-candles. All exterior luminaries shall be included in this calculation.
 - c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.3 foot-candles. All exterior luminaries shall be included in this calculation.

Building Mounted Lighting:

- d. Wall mounted luminaries shall contain house side shields, and be mounted on a minimum 4-inch long bracket that is mounted perpendicular to the wall.
- e. There shall be no exterior wall site lighting mounted above 8-feet.

Parking Canopy lighting:

- f. The carport lighting shall be recessed within the canopy and shall not project below the fascia. The light source is not directly visible from the offsite.

VEHICULAR AND BICYCLE PARKING:**DRB Stipulations**

- 28. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

Ordinance

- L. The developer shall provide the minimum bike parking as required by the Zoning Ordinance

ADDITIONAL PLANNING ITEMS:**DRB Stipulations**

- 29. No exterior vending or display shall be allowed.
- 30. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 31. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:**Ordinance**

- M. At the time of review, the applicable zoning, and DRB, for the subject site were: 5-MP-1993, 5-MS-1993, 74-ZN-1992#8.
- N. All signage shall be consistent with the approved Master Sign Program case 5-MS-1993.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

CIVIL IMPROVEMENT PLAN REQUIREMENTS:**DRB Stipulations**

- 32. The site plan shall be revised to include sidewalk along the private drive frontage.

DRAINAGE AND FLOOD CONTROL:**DRB Stipulations**

- 33. The graded area in front of Building A shall not exceed a slope of 6:1. The graded areas in front of Building A shall be contoured to provide a naturally occurring grade appearance.

Ordinance

- O. The City's Storm water Management Division is considering granting a Storm Water Storage Waiver for this development. The application will be approved when the following conditions are met:
- (1) Demonstrate that increased runoff can be safely conveyed to an existing storm water storage facility; and that the increased runoff will not endanger property between the development site and the storage basin.
- P. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, and an approved storm water storage waiver.

CIRCULATION:**DRB Stipulations**

34. The developer shall provide a minimum parking-aisle width of 24 feet.
35. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

Ordinance

- Q. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

DRB Stipulations

36. Sight distance easements shall be dedicated over sight distance triangles.
- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

Ordinance

- R. Drainage Easement:
- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.
- S. Vista Corridor Easements:
- (1) All vista corridor easements, drainage easements and easements for stormwater storage shall be dedicated to the City as drainage and flood control easements, with maintenance the responsibility of the owner.

REFUSE:**DRB Stipulations**

37. The trash enclosure location shall be revised so that it's approach direction is aligned with the travel direction of a drive aisles.
38. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail Enclosures must:
- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - b. Be positioned to facilitate collection without "backtracking."

- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

CONSTRUCTION REQUIREMENTS

DRB Stipulations

Ordinance

- T. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]